

# 430 W BERKS ST

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RCO Presentation

Date: 02.22.2023





AERIAL PLAN



ZONING PLAN



430 W BERKS STREET

CADWALLADER ST



N 5TH STREET



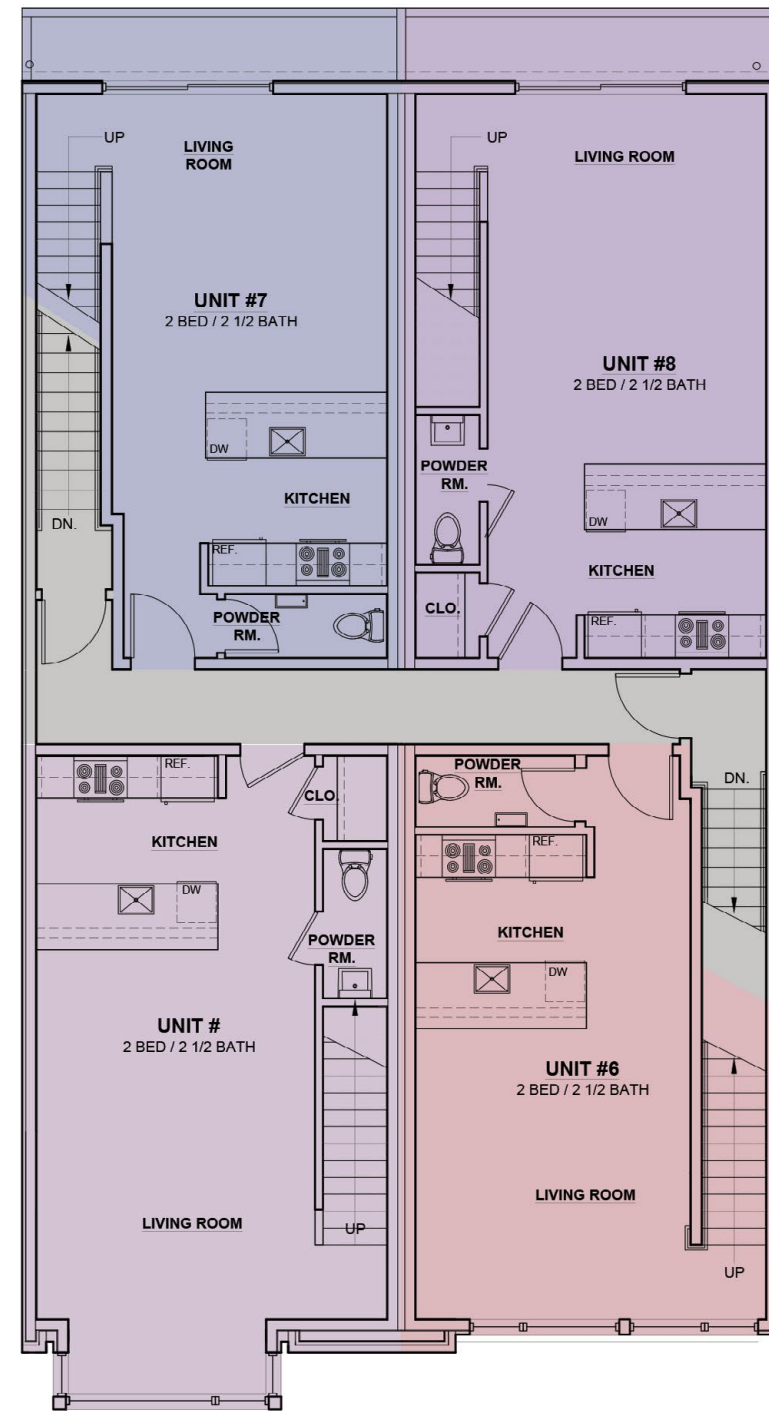
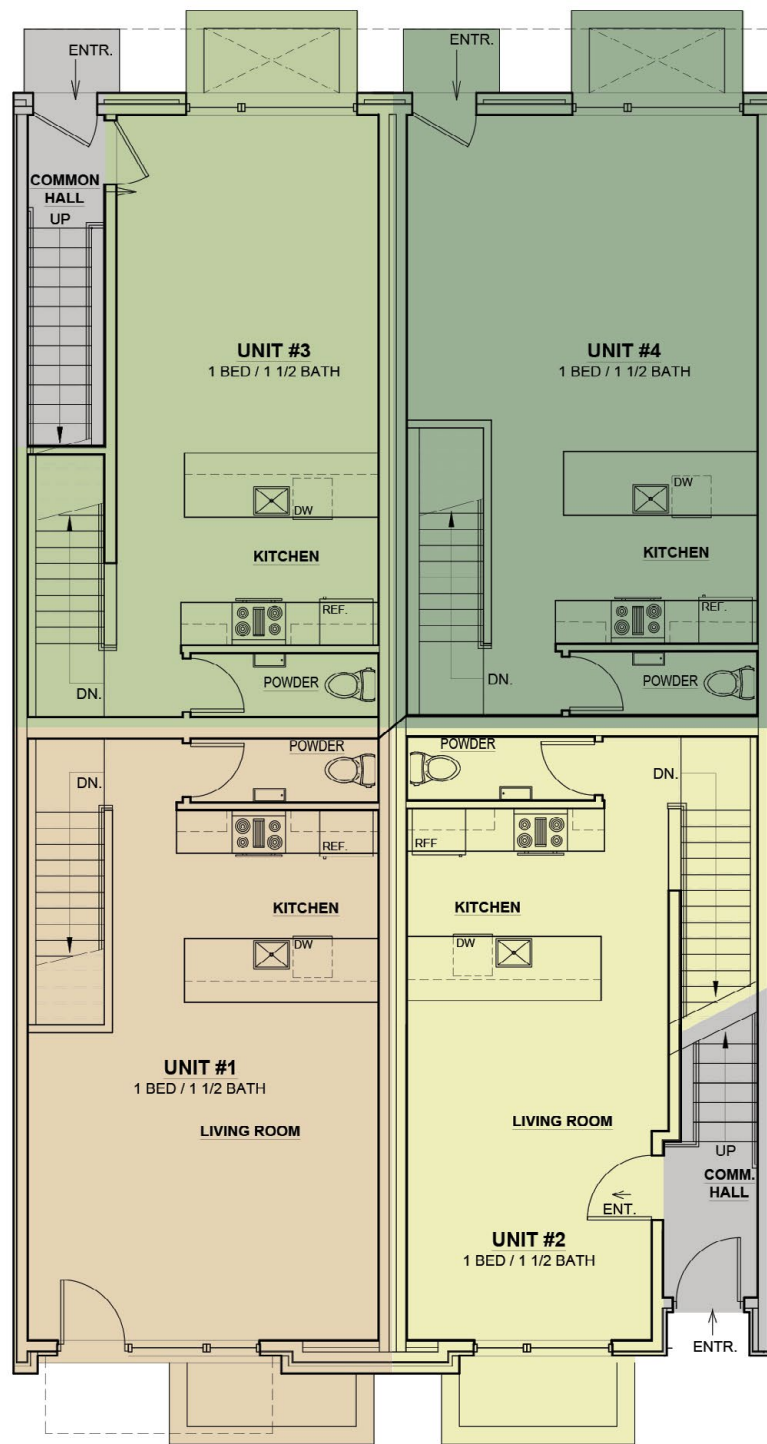
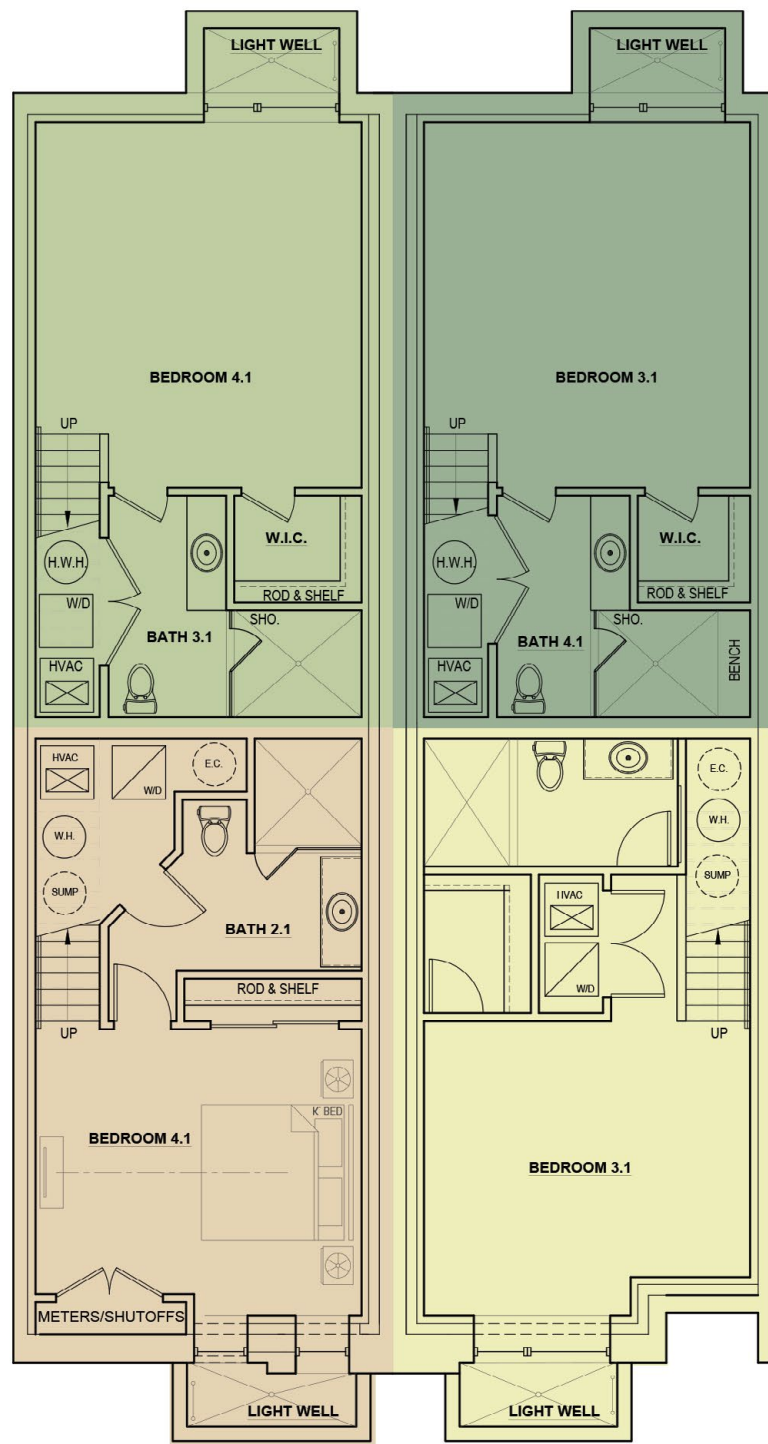
430 W BERKS STREET



**SITE PLAN**

**GROUND FLOOR**

- PHASE I
- PHASE II
- PHASE III



**BLDG #8**

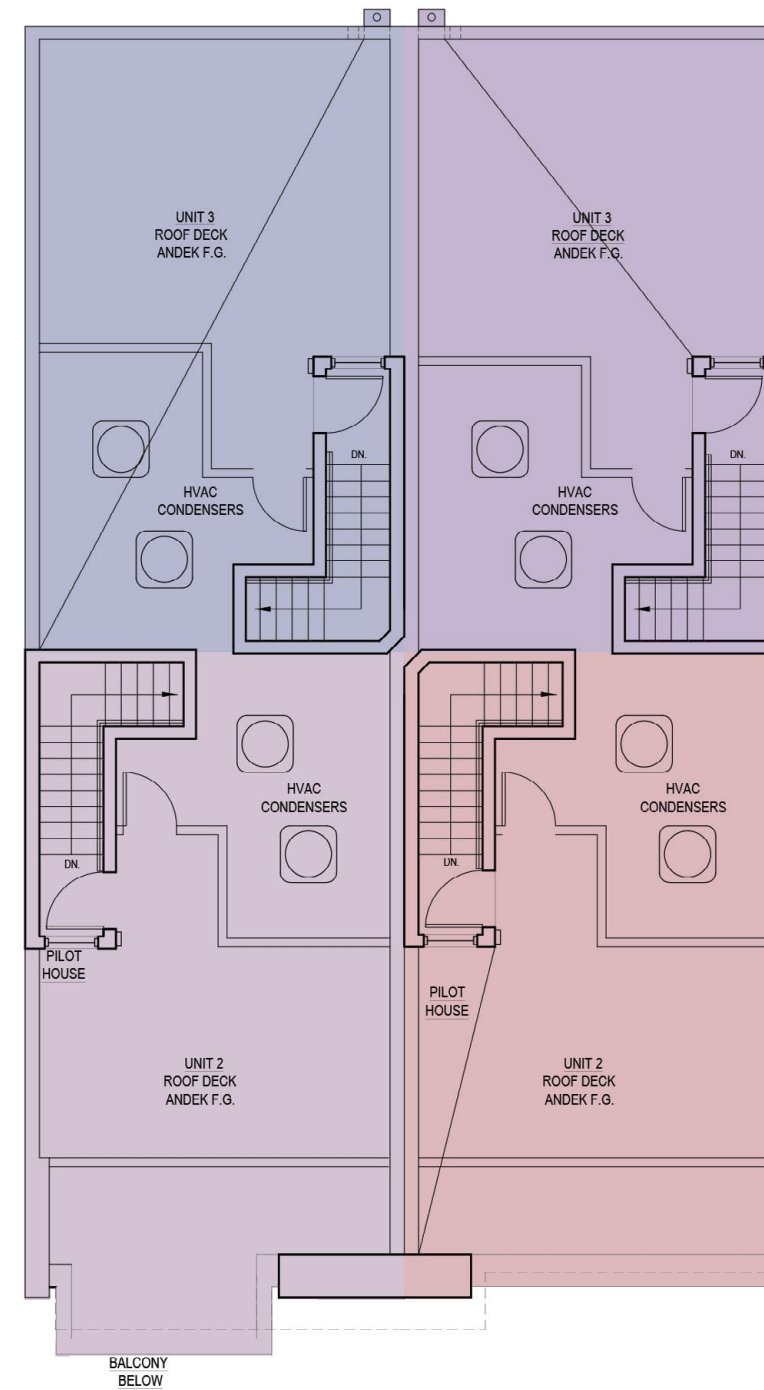
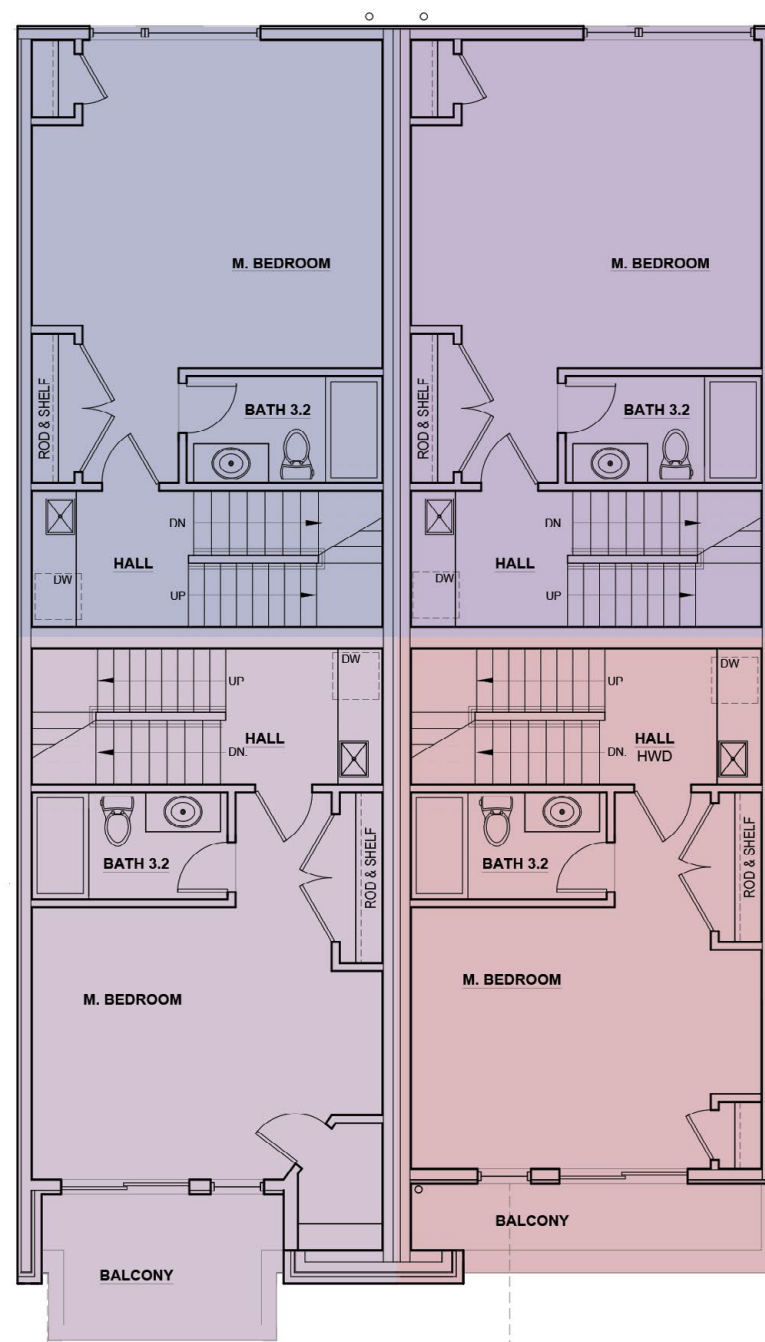
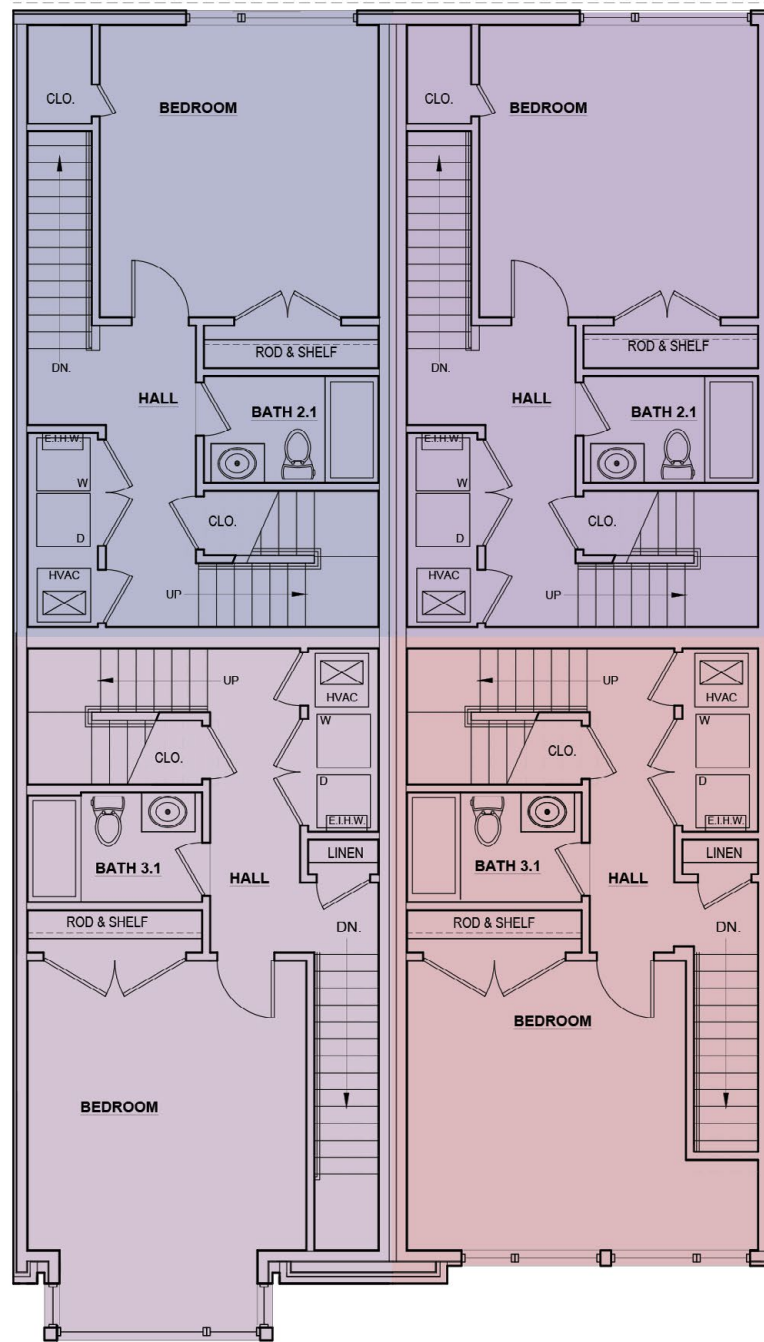
**FLOOR PLAN**

- UNIT 1
- UNIT 2
- UNIT 3
- UNIT 4
- UNIT 5
- UNIT 6
- UNIT 7
- UNIT 8

**BLDG #8**

**FLOOR PLAN**

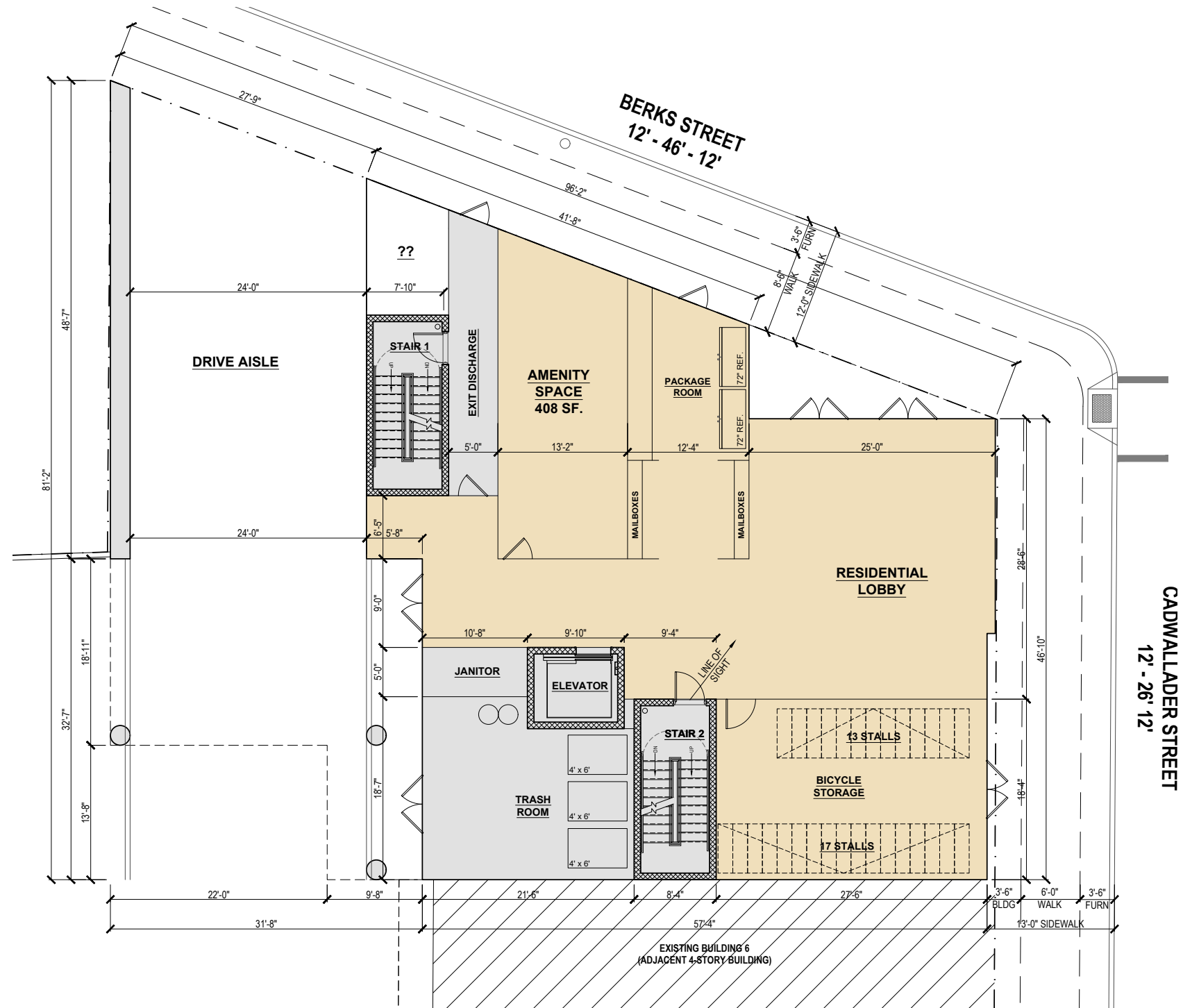
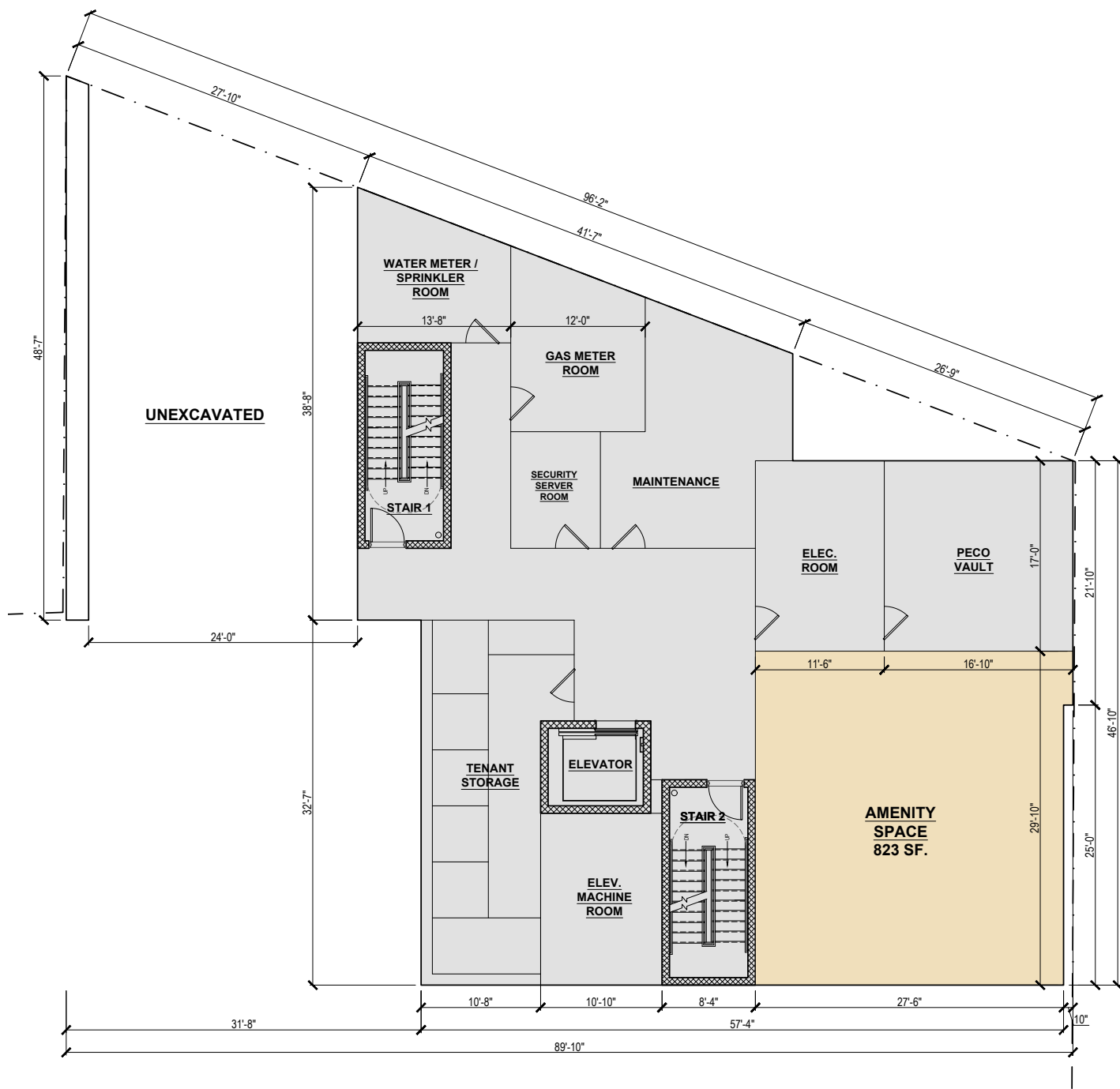
- UNIT 1
- UNIT 2
- UNIT 3
- UNIT 4
- UNIT 5
- UNIT 6
- UNIT 7
- UNIT 8

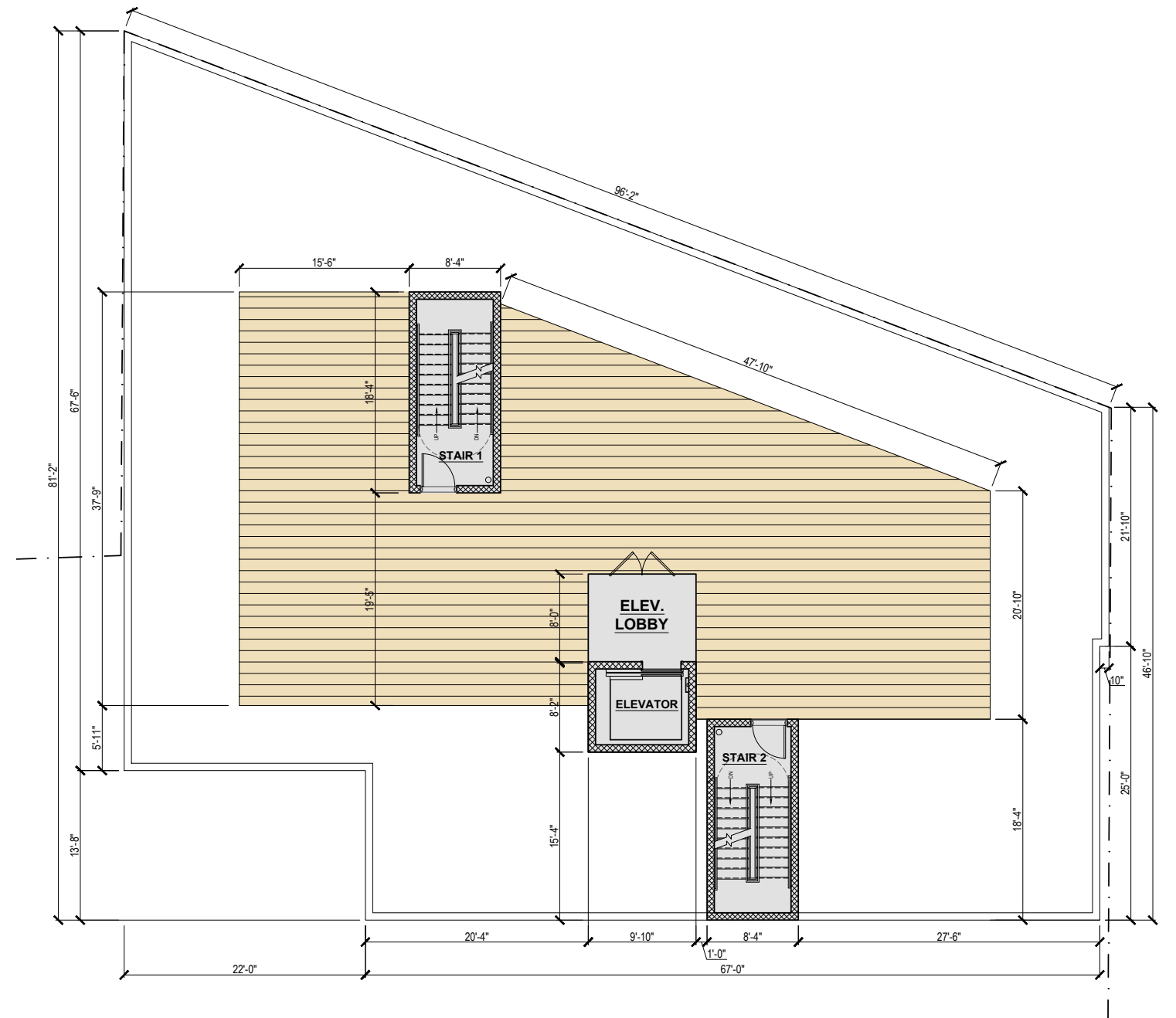
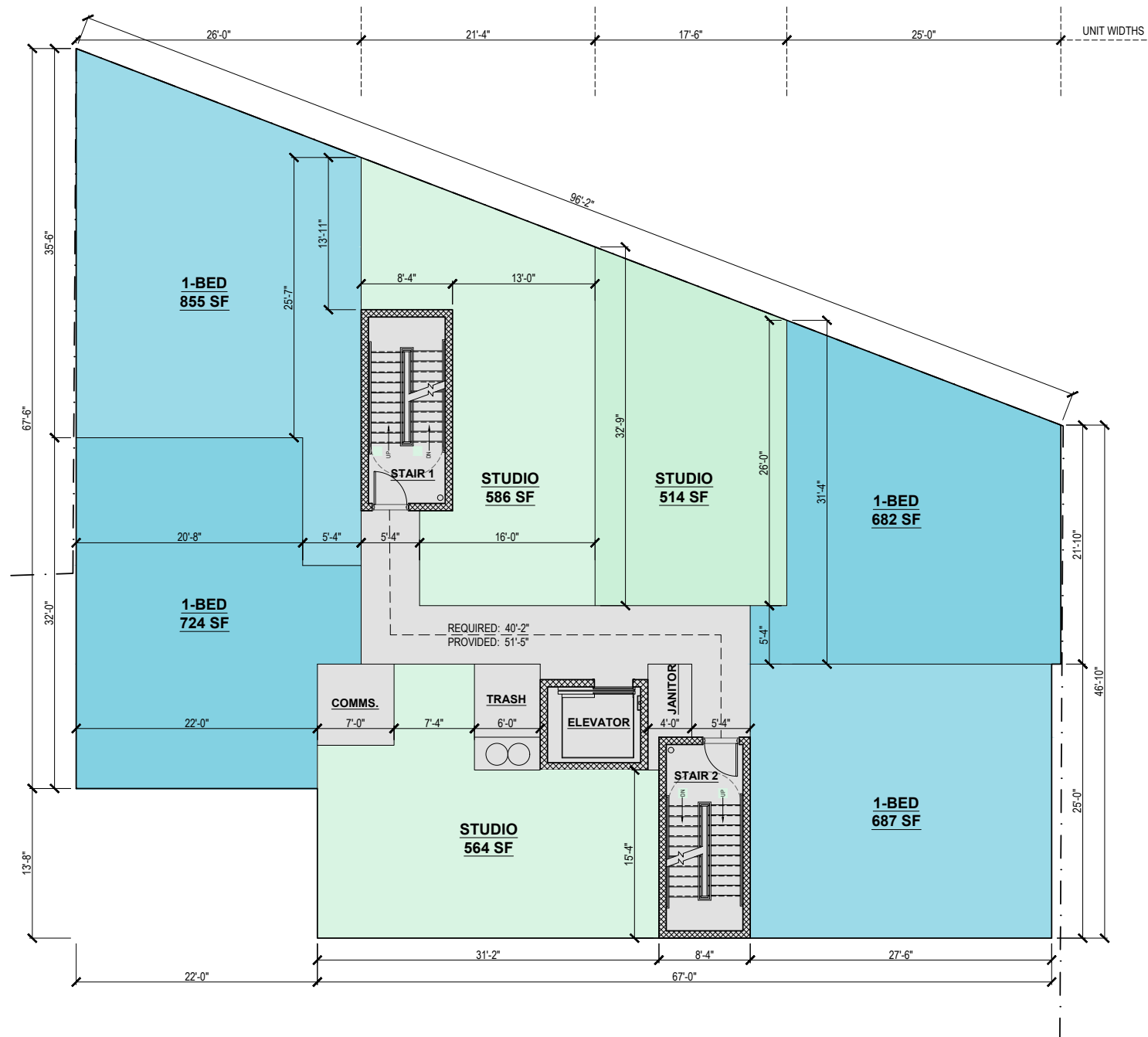


















PROJECT ADDRESS:  
**430 W BERKS STREET  
 PHILADELPHIA, PA**



CONSULTANTS:

#	DATE	ISSUE / REVISION
1	07.15.2022	ZONING SUBMISSION
2	09.13.2022	ZONING RFI

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DRAWINGS PREPARED BY:  
 PV  
 DRAWINGS CHECKED BY:  
 EQ  
 DRAWING TITLE:

**ZONING SITE PLAN**  
 DRAWING NUMBER:

**Z.1**

### ZONING KEYED NOTES

<b>3 - ROOF</b>	3-1 42" HIGH GUARDRAIL / PARAPET
	3-2 GUARDRAIL / PARAPET (HEIGHT PER SECTION)
	3-3 ROOF (NOT TO BE OCCUPIED)
	3-4 ROOF DECK
	3-5 RECESSED PORTION @ 1ST FLOOR
	3-6 PILOT HOUSE (NOT TO EXCEED 125 SF)
	3-7 ELEVATOR OVERRUN
	3-8 ELEVATOR AND LOBBY PENTHOUSE (NTE 165 SF)
<b>2 - FACADE</b>	2-1 BAY @ 2ND-3RD FLOOR
	2-2 BALCONY @ 4TH FLOOR
	2-3 ARCHITECTURAL EMBELLISHMENT @ 1-4 FLOOR
	2-4 CANOPY @ 4TH FLOOR
	2-5 REAR DECK @ 2ND FLOOR
	2-6 AWNING @ 1ST FLOOR
	2-7
	2-8
<b>1 - SITE</b>	1-1 EGRESS WELL W/ FLUSH GRATE
	1-2 PROPOSED STREET TREE
	1-3 W/AD-GRASS PLANTATION
	1-4 ENTRY STAIRS
	1-5 6'-7" FENCE (AT PROPERTY LINE, TYP.)
	1-5A W/AD-GRASS PLANTATION (MIN. 3'-0" MAX.)
	1-6 AUTOMOBILE PARKING STALL (8'-6" x 18'-0", TYP.)
	1-7 VAN ADA PARKING STALLS W/ WALK AISLE
	1-8 DRIVE AISLE
	1-9 PROPOSED CURB CUT, REFER TO DETAIL
	1-10 LANDSCAPED AREA
	1-11 PROPOSED STREET TREE
	1-12 W/AD-GRASS PLANTATION
	1-13 CLASS 1A BIKE STALL (ADA ACCESS)
<b>0 - EXISTING</b>	0-1 EXISTING STREET TREE
	0-2 EXISTING UTILITY POLE
	0-3 STREET TREE (TO BE REMOVED)
	0-4 EXISTING ENTRY STAIR
	0-5 ADA CORNER RAMP
	0-5A W/AD-GRASS PLANTATION
	0-6 CROSSWALK
	0-7 EXISTING EGRESS WELL
	0-8 EXISTING PROJECTED BAY

### PROJECT SUMMARY: 430 W. BERKS STREET

ZONING: RM-1  
 ADJUTING ZONING DISTRICT: CMX-2 / RM-1 / I-1  
 ZONING DISTRICT ACROSS STREET: BSA-5 / CMX-1 / CMX-2  
 LOT AREA: 41,789.72 US SF / 41,574.08 SF

USE: MULTI-FAMILY	ALLOWED: 68	EXISTING: 46	PROPOSED: 91
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<b>DIMENSIONAL STANDARDS</b>	REQUIRED / ALLOWED	EXISTING	PROPOSED
OPEN AREA	16,447.43 SF (20%)	29,862.72 SF (70.9%)	22,048.82 SF (52.76%)
OCCUPIED AREA	31,342.29 SF (80%)	12,127.52 SF (29.9%)	19,741.7 SF (47.24%)
FRONT YARD SETBACK	0'	0'	0'
SIDE YARD	12' IF USED	40'-8 11/16"	1'-11"
REAR YARD	N/A PER 14.701(1)(6)(2)	N/A	N/A
HEIGHT	38'-0"	38'-0"	NTE 77'-0"
GFA	NO LIMIT	49883 SF	41399 SF

TOTAL GFA: 91,292 SF

- ### ZONING NOTES:
- PILOT HOUSES ARE TO CONTAIN STAIRS AND LANDINGS ONLY.
  - PROPOSED ROOF DECKS ARE TO BE SETBACK MIN. 5'-0" FROM RIGHT OF WAYS.
  - GUARD RAIL/TYPICAL PARAPETS ARE 42" AFF
  - 6' TALL FENCE PROPOSED AT REAR AND SIDE YARDS WHERE APPLICABLE

### PARKING SUMMARY

AUTO PARKING	REQUIRED: 0	EXISTING: 0	PROPOSED TOTAL: 43 SP (2) ADA (2) EV
BICYCLE PARKING	REQUIRED: 31	EXISTING: 4	PROPOSED TOTAL: 31

### LANDSCAPING SUMMARY

PARKING LOT OPEN TO SKY: 14584 SF

LANDSCAPED AREA	REQUIRED: 1458.4 SF (10%)	PROPOSED: 3197 SF (21%)
REQUIRED PLANTING (1 TREE PER 300 SF)	5 TREES	5 TREES
LANDSCAPE BUFFER ZONE	5' WIDE	3'-8"
STREET TREES (399 / 35)	11	11 (EXISTING)

- ### LANDSCAPE NOTES:
- LANDSCAPING SHALL COMPLY WITH ON-SITE LANDSCAPE AND TREE REQUIREMENTS OF THE ZONING CODE, SECTION 705.1.
  - ALL PLANTS, TREES, SHRUBS AND GRASS SHALL BE ON THE COMMISSION'S APPROVED PLANTINGS LIST.
  - TREES SHALL HAVE A MINIMUM CALIPER OF 2.0 INCHES.
  - SHRUBS SHALL BE PLANTED AT AN INTERVAL SUCH THAT THERE ARE NOT LESS THAN THREE (3) SHRUBS PER 25' OF LINEAR PARKING LOT FRONTAGE ALONG PUBLIC STREET AND HAVE A MATURE HEIGHT OF NOT LESS THAN 2'-0".
  - PROJECTS WITH PARKING ADJACENT TO A RESIDENTIAL DISTRICT OR PUBLIC STREETS SHALL HAVE A LANDSCAPE BUFFER OR ORNAMENTAL FENCEWALL.
  - STREET TREES SHALL BE REQUIRED WHEN PROJECT INCLUDES 3 LOTS AND/OR A LOT AREA OF 5,000 SF, USED FOR MORE THAN A 1.2 FAMILY DWELLING.
  - STREET TREES TO BE PLANTED AT 1 PER 30' OF BUILDING FRONTAGE. SPACING BETWEEN TREES SHOULD BE AT LEAST 15' APART.

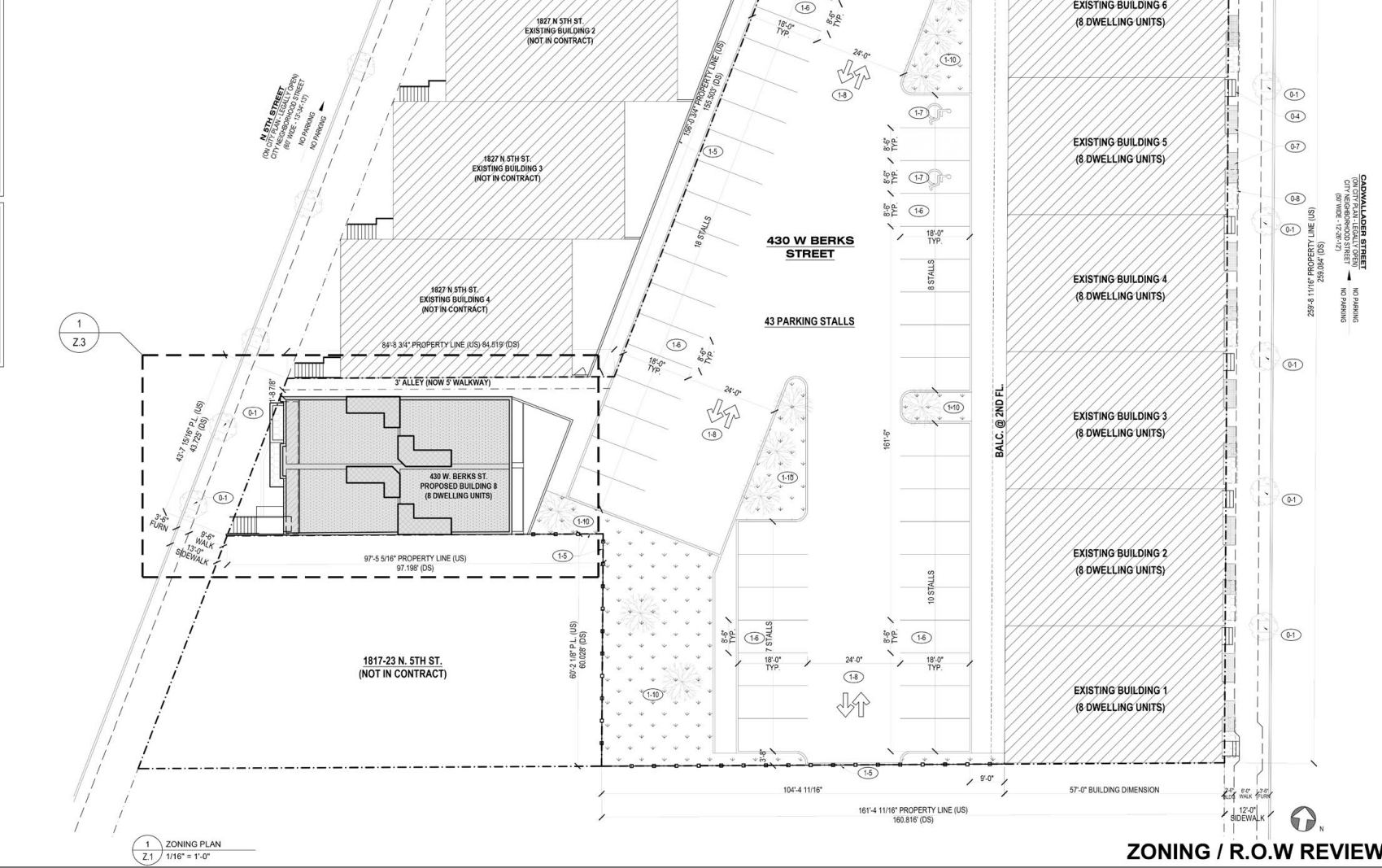
### TYPICAL ENCROACHMENTS INTO RIGHT OF WAYS:

	CADWALLADER ST	BERKS STREET	N 5TH STREET
PEDESTRIAN ZONE	6'-0"	8'-6"	9'-6"
FURNISHING ZONE	3'-6"	3'-6"	3'-6"
BUILDING ZONE	2'-6"	NA	NA

STAIR ENCROACHMENT: 3'-10" MAX (2'-0" TYP)  
 EGRESS WELLS (TYP. THROUGHOUT) 2'-6"  
 EGRESS WELLS SHALL BE COVERED WITH A WALKABLE STEEL GRATE FLUSH WITH THE SIDEWALK AND ACCESSIBLE.

BAY WINDOWS AND BALCONIES: NOT TO BE ERRECTED EXCEPT WITHIN LINES DRAWN FROM THE INTERSECTION OF THE PARTY LINE AND THE STREET LINE AT AN ANGLE OF 20° WITH THE LATTER. ERRECTED AT THE PROPERTY LINE EXTENDING INTO THE RIGHT-OF-WAY NOT MORE THAN 3'-0" BAYS TO BE MIN. 10'-0" IN HEIGHT OVER RIGHT OF WAYS.

- ### STREETS DEPARTMENT NOTES:
- WORK TO BE DONE IN ACCORDANCE WITH STANDARD SPECIFICATIONS, APPROVED DRAWINGS, AND REGULATIONS OF THE DEPARTMENT OF STREETS, PHILADELPHIA WATER DEPARTMENT, PHILADELPHIA PARKS & RECREATION DEPARTMENT, AND SPECIAL PROVISIONS OF THE PROPOSAL.
  - NEW CURB PER CURB, FOOTWAY AND ROADWAY RESTORATION PER DRAWING NUMBER SC-0101
  - MINIMUM PEDESTRIAN, BUILDING, AND FURNISHING ZONES PER COMPLETE STREETS POLICY, CHAPTER 11-900
  - PURSUANT TO THE REQUIREMENTS OF PENNSYLVANIA ACT 287 (1974), AND AS AMENDED, THE CONTRACTOR SHALL CONTACT THE PENNSYLVANIA ONE CALL SYSTEM AT 1-800-242-1178, AT LEAST 3 WORKING DAYS PRIOR TO EXCAVATION.  
 - PENNSYLVANIA ONE CALL SYSTEM #0018 100 3174  
 - WARD #18
  - UTILITIES SHOWN ARE TAKEN FROM PUBLIC RECORD.
  - HORIZONTAL AND VERTICAL CONTROL, LINE AND GRADE STAKES FOR CURB, PAVING, ETC. WILL BE FURNISHED BY THE 5TH SURVEY DISTRICT OF THE CITY OF PHILADELPHIA BASED ON ITEM #4-1040. NOTE: THIS ITEM, ENGINEERING SERVICES, IS A PRE-DETERMINED AMOUNT TO BE DETERMINED BY THE SURVEYOR & REGULATOR AND TO BE INCLUDED IN THE CONTRACTOR'S BID.
  - PERMITS FOR BOLLARDS, CURB, AND SIDEWALK PAVING WILL BE FURNISHED BY THE 3RD HIGHWAY DISTRICT OF THE CITY OF PHILADELPHIA.
  - THE CITY OF PHILADELPHIA SHALL PROVIDE INSPECTION SERVICES FOR PAVING AND RELATED WORK TO BE PAID UNDER ITEM #4-1041 AT A COST OF \$345 PER DAY. THE CONTRACTOR SHALL CONTACT THE CONSTRUCTION UNIT OF THE DIVISION OF SURVEYS, DESIGN & CONSTRUCTION AT (215) 686-5539. A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. THIS ITEM, INSPECTION SERVICES, SHALL BE INCLUDED IN THE CONTRACTOR'S BID.
  - STREET TREES MUST BE PERMITTED BY THE PHILADELPHIA DEPARTMENT OF PARKS & RECREATION. CONTACT THE STREET TREE MANAGEMENT DIVISION AT (215) 685-4363.
  - ALL EGRESS LIGHT WELLS TO BE CAPPED FLUSH WITH SIDEWALK WITH WALKABLE STEEL GRATE.
  - SIDEWALK SPOT ELEVATIONS ARE TAKEN FROM PUBLIC RECORD. MEASUREMENTS ARE SET ABOVE PHILADELPHIA DATUM (A.P.D.). ALL SPOT ELEVATIONS ARE EXISTING AND DO NOT NECESSARILY REFLECT PROPOSED CONDITIONS.
  - STREET LIGHT POLE LOCATIONS ARE NOT FINAL. THE STREETS DEPARTMENT STREET LIGHTING ENGINEER WILL DETERMINE THE EXACT LOCATIONS OF THE STREET LIGHT POLES DURING CONSTRUCTION. CONTACT THE STREET LIGHTING ENGINEER AT (215) 686-5511 TO COORDINATE STREET LIGHT POLE LOCATIONS.
  - FOR PROJECTS ON STATE ROUTES, NOTICE IS HEREBY GIVEN THAT THE RECEIPT OF A PERMIT FROM EITHER THE PHILADELPHIA STREETS DEPARTMENT, OR THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION (PennDOT) DOES NOT IMPLY A PERMIT FROM THE OTHER. ALL PERMITS MUST BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
  - EGRESS WELLS IN SIDEWALK SHALL BE CAPPED FLUSH W/ FINISHED SIDEWALK SURFACE W/ WALKABLE STEEL BAR GRATING



STAMP REGION

1 ZONING PLAN  
 Z.1 1/16" = 1'-0"



**harman deutsch ohler architecture**  
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 267.324.3601

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 PHILADELPHIA, PA**



CONSULTANTS:

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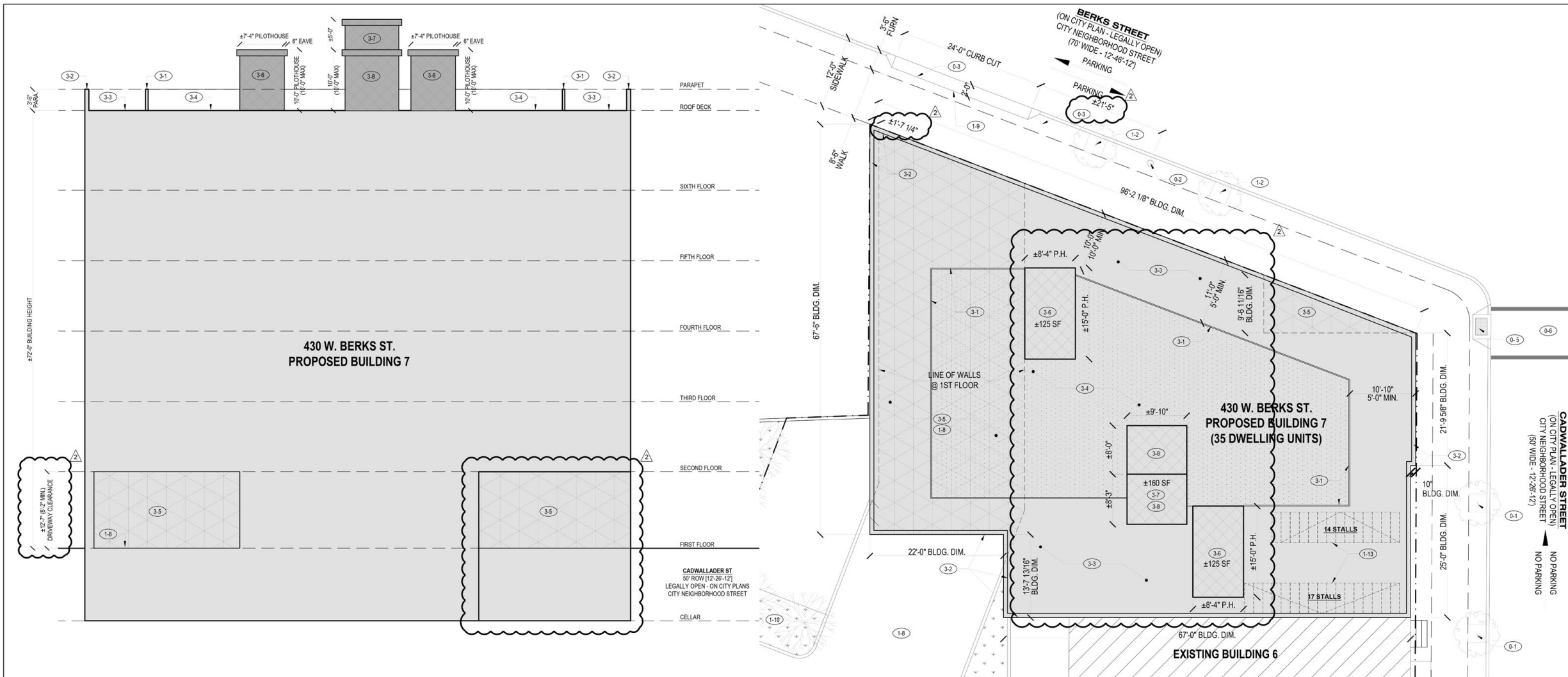
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DRAWINGS PREPARED BY:  
 PV  
 DRAWINGS CHECKED BY:  
 EQ  
 DRAWING TITLE:

**ZONING SITE PLAN**  
 DRAWING NUMBER:

**Z.2**

ZONING / R.O.W REVIEW



2 ZONING SITE SECTION  
 1/8" = 1'-0"

1 ZONING PLAN  
 1/8" = 1'-0"

- ZONING KEYED NOTES**
- 3-1 42" HIGH GUARDRAIL / PARAPET
  - 3-2 GUARDRAIL / PARAPET (HEIGHT PER SECTION)
  - 3-3 ROOF (NOT TO BE OCCUPIED)
  - 3-4 ROOF DECK
  - 3-5 RECESSED PORTION @ 1ST FLOOR
  - 3-6 PILOT HOUSE (NOT TO EXCEED 125 SF)
  - 3-7 ELEVATOR OVERRUN
  - 3-8 ELEVATOR AND LOBBY PENTHOUSE (NTE 165 SF)

- 2 - FACADE**
- 2-1 BAY @ 2ND-3RD FLOOR
  - 2-2 BALCONY @ 4TH FLOOR
  - 2-3 ARCHITECTURAL EMBELLISHMENT @ 14 FLOOR
  - 2-4 CANOPY @ 4TH FLOOR
  - 2-5 REAR DECK @ 2ND FLOOR
  - 2-6 AWNING @ 1ST FLOOR
  - 2-7 GARDENS
  - 2-8 DOWNSPREAD PAVEN

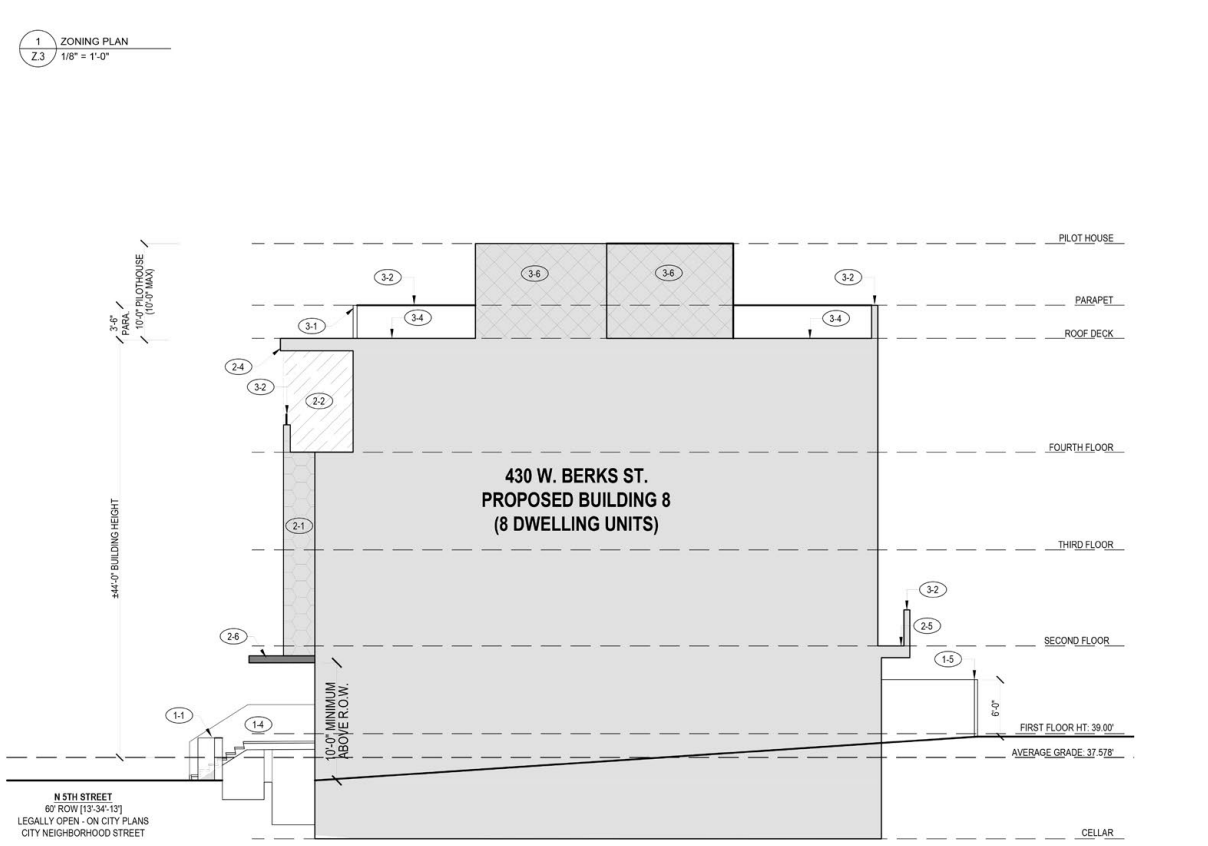
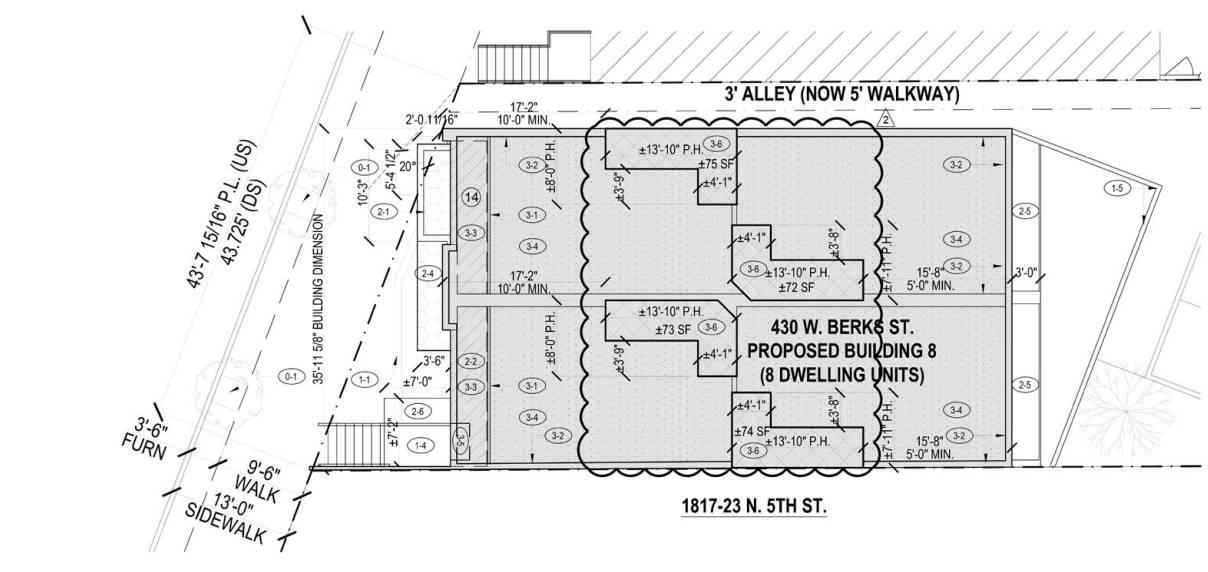
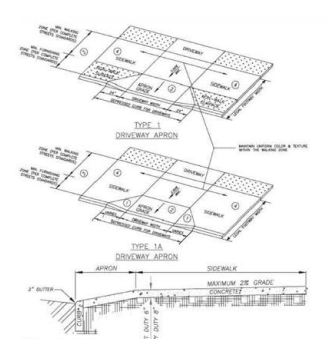
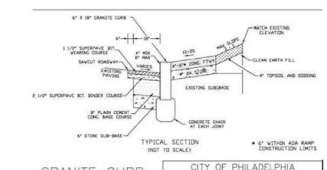
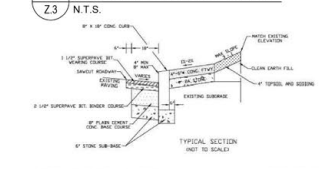
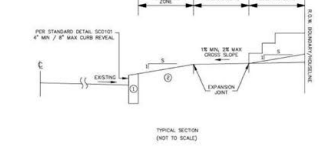
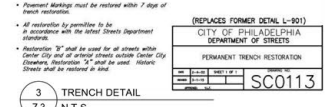
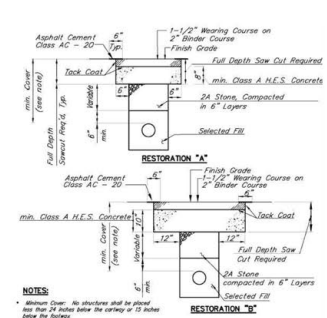
- 1 - SITE**
- 1-1 EGRESS WELL W/ FLUSH GRATE
  - 1-2 PROPOSED STREET TREE
  - 1-3 YARD DRAIN-UP LOCATION
  - 1-4 ENTRY STAIRS
  - 1-5 6'-0" FENCE (AT PROPERTY LINE, TYPE)
  - 1-5A ~~6'-0" FENCE (AT PROPERTY LINE, TYPE)~~ (MAX.)
  - 1-6 AUTOMOBILE PARKING STALL (8'-0" x 18'-0", TYP.)
  - 1-7 VAN ADA PARKING STALLS W/ WALK AISLE
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  - 1-9 PROPOSED CURB CUT, REFER TO DETAIL
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- 0 - EXISTING**
- 0-1 EXISTING STREET TREE
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  - 0-3 STREET TREE (TO BE REMOVED)
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  - 0-5 ADA CORNER RAMP
  - 0-5A ~~UPGRADE TO ADA COMPLIANT~~
  - 0-6 CROSSWALK
  - 0-7 EXISTING EGRESS WELL
  - 0-8 EXISTING PROJECTED BAY

STAMP REGION

**ZONING KEYED NOTES**

<b>3 - ROOF</b>	<ul style="list-style-type: none"> <li>3-1 42" HIGH GUARDRAIL / PARAPET</li> <li>3-2 GUARDRAIL / PARAPET (HEIGHT PER SECTION)</li> <li>3-3 ROOF (NOT TO BE OCCUPIED)</li> <li>3-4 ROOF DECK</li> <li>3-5 RECESSED PORTION @ 1ST FLOOR</li> <li>3-6 PILOT HOUSE (NOT TO EXCEED 125 SF)</li> <li>3-7 ELEVATOR OVERRUN</li> <li>3-8 ELEVATOR AND LOBBY PENTHOUSE (NTE 165 SF)</li> </ul>
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<b>1 - SITE</b>	<ul style="list-style-type: none"> <li>1-1 EGRESS WELL W/ FLUSH GRATE</li> <li>1-2 PROPOSED STREET TREE</li> <li>1-3 <del>WAD-BRAN-VISUALIZATION</del></li> <li>1-4 ENTRY STAIRS</li> <li>1-5 6'-0" FENCE (AT PROPERTY LINE, TYPE)</li> <li>1-5A <del>WAD-BRAN-VISUALIZATION (MAX)</del></li> <li>1-6 AUTOMOBILE PARKING STALL (8'-0" x 18'-0", TYP)</li> <li>1-7 VAN ADA PARKING STALLS W/ WALK AISLE</li> <li>1-8 DRIVE AISLE</li> <li>1-9 PROPOSED CURBOUT, REFER TO DETAIL</li> <li>1-10 LANDSCAPED AREA</li> <li>1-11 <del>PROPPOSED STREET TREE</del></li> <li>1-12 <del>PROPPOSED STREET TREE</del></li> <li>1-13 CLASS 1A BIKE STALL (ADA ACCES)</li> </ul>
<b>0 - EXISTING</b>	<ul style="list-style-type: none"> <li>0-1 EXISTING STREET TREE</li> <li>0-2 EXISTING UTILITY POLE</li> <li>0-3 STREET TREE (TO BE REMOVED)</li> <li>0-4 EXISTING ENTRY STAIR</li> <li>0-5 ADA CORNER RAMP</li> <li>0-5A <del>MIRRAGE TO ADA STANDARDS</del></li> <li>0-6 CROSSWALK</li> <li>0-7 EXISTING EGRESS WELL</li> <li>0-8 EXISTING PROJECTED BAY</li> </ul>



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 PHILADELPHIA, PA**

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DRAWINGS PREPARED BY:  
 PV  
 DRAWINGS CHECKED BY:  
 EQ  
 DRAWING TITLE:

**ZONING SITE PLAN**  
 DRAWING NUMBER:

**Z.3**

ZONING / R.O.W REVIEW



**Notice of:**       **Refusal**       **Referral**

<b>Application Number:</b> ZP-2022-008444	<b>Zoning District(s):</b> RM1	<b>Date of Refusal:</b> <b>11/9/2022</b>
<b>Address/Location:</b> 430 W BERKS ST, Philadelphia, PA 19122-2221 Parcel (PWD Record)		Page Number Page 1 of 1
<b>Applicant Name:</b> Craig Deutsch DBA: Harman Deutsch Corp	<b>Applicant Address:</b> 1225 N 7th Street Philadelphia, PA 19122 USA	

**Application for:**

APPLICATION IS FOR A NEW CONSTRUCTION OF TWO (2) STRUCTURE (BUILDING #7 AND #8) WITH ROOF DECK AND ROOF ACCESS STRUCTURES (3 FOR BUILDING #7 AND 4 FOR BUILDING #8), SIZE AND LOCATION AS SHOWN ON PLANS/APPLICATION.

FOR USE AS 35 FAMILY HOUSEHOLD LIVING IN BUILDING #7, AND 8 DWELLING UNITS IN BUILDING #8 (91 DWELLING UNITS TOTAL WITH PREVIOUSLY APPROVED USE IN BUILDING #1 THROUGHOU #6)

**The permit for the above location cannot be issued because the proposal does not comply with the following provisions of the Philadelphia Zoning Code. (Codes can be accessed at [www.phila.gov](http://www.phila.gov).)**

<u>Code Section(s):</u>	<u>Code Section Title(s):</u>	<u>Reason for Refusal:</u>
Table 14-602-1 Note [1]	Uses Allowed in Residential Districts - Refusal	Whereas the proposed use, multi-family household living (91 units total), is expressly prohibited in the RM-1 residential zoning district.
Table 14-701-2	Dimensional Standards for Higher Density Residential Districts	Whereas both Building #7 and Building 38 does not complied with the height limitation of RM-1 Zoning District.

ONE (1) USE REFUSAL  
ONE (1) ZONING REFUSAL

**Fee to File Appeal:** \$ 300

NOTES TO THE ZBA:

Enter notes here...

Parcel Owner:



Haoying Ye  
PLANS EXAMINER

11/9/2022  
DATE SIGNED