

1347 N MASHER ST

ROOF DECK & PILOT HOUSE

EXISTING FRONT FACADE PHOTO



PHILADELPHIA ECLIPSE APPROVALS AREA

GENERAL ZONING NOTES

ADDRESS: 1347 N MASHER ST PHILADELPHIA, PA 19122
 OPA: 182067100
 ZONED: RSA-5
 USE: SINGLE FAMILY RESIDENCE

ZONING CHART			
ZONING	REQUIRED	PROPOSED	VARIANCE
MIN. LOT WIDTH	16'-0"	15'-1"	EXISTING NON CONFORM
MIN. LOT AREA	960 SF	549 SF	EXISTING NON CONFORM
MAX OCCUPIED AREA	EXP 3'	N/A	EXISTING - NO CHANGE
MIN. FRONT SETBACK	ADJACENT	0' - ADJACENT	EXISTING - NO CHANGE
MIN. SIDE YARD WIDTH	0 (ATTACHED)	0'	EXISTING - NO CHANGE
MIN. REAR YARD DEPTH	7'-0" (EXP. 7')	0	EXISTING NON CONFORM
MAX HEIGHT	38'-0"	36'-4"	NO

* EXCEPTION 3 - MAX. OCCUPIED AREA (% OF LOT)
 [3] IN THE RSA-5 AND RSA-6 DISTRICTS, BUILDINGS ON LOTS EQUAL TO OR LESS THAN 45 FT. IN DEPTH ARE EXEMPT FROM THE MAXIMUM OCCUPIED AREA REQUIREMENTS.

* EXCEPTION 7 - REAR YARD SETBACK
 [7] IN THE RSA-5 DISTRICT, THE MINIMUM REAR YARD DEPTH FOR LOTS EQUAL TO OR LESS THAN 45 FT. IN DEPTH SHALL BE 7 FT.

LOT IS LESS THAN 45 FEET (37' - 6 1/4" LONGEST DEPTH), EXCEPTIONS 3 AND 7 APPLY

DRAWING LIST

NUM.	DRAWING NAME	ISSUE	DATE
Z-01	ZONING COVER SHEET	ZONING SET	07/06/2023
Z-02	ARCHITECTURAL SITE PLAN & ELEVATIONS	ZONING SET	07/06/2023

PROJECT INFORMATION

PROJECT ADDRESS: 1347 N MASHER ST PHILADELPHIA, PA 19122
 OPA NUM: 182067100

PROJECT DESCRIPTION

THIS PROJECT CONSISTS OF A NEW ROOF DECK AND PILOT HOUSE AT 1347 N MASHER ST PHILADELPHIA, PA 19122. THE OCCUPIED ROOF DECK WILL CONSIST OF A NEW PILOT HOUSE AND NEW PARAPET WALLS AROUND A NEW ROOF DECK. THE NEW ROOF DECK AND PILOT HOUSE WILL BE ON THE EXISTING ROOF OF THE EXISTING 3 STORY ROW HOME.

NOTE: THIS WORK WAS PREVIOUSLY COMPLETED WITHOUT PERMITS WITH THE PREVIOUS OWNER WHO DID NOT CLOSE OUT A RESIDENTIAL BUILDING PERMIT (BELIEVED TO BE RP-2021-010160) ALSO COMPLETED BY A PREVIOUS ARCHITECT. THIS ZONING DOCUMENT IS LIMITED TO ONLY THE PROPOSED ROOF DECK AND NOT THE PREVIOUS MENTIONED PERMIT. AFTER ZONING APPROVAL, LASOTA ARCHITECTS INC. WILL WORK WITH L&I TO RECTIFY THIS NOT PERMITTED CONSTRUCTION OF THE ROOF DECK AND PILOT HOUSE STRUCTURES. THE DRAWINGS SHOWN ARE OF THE COMPLETED ROOF DECK AND PILOT HOUSE THAT MEETS THE CURRENT ZONING STANDARDS.

CONSULTANTS:

DISTRIBUTION:	DATE:
0 ZONING SET	07/06/2023

ARCHITECT:

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CLIENT:

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 JACQUELINE DIPIETRO**

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PROJECT:

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 OPA NUMBER: 182067100

PROJECT NUMBER: 2023-019

NOTE & COPYRIGHT:

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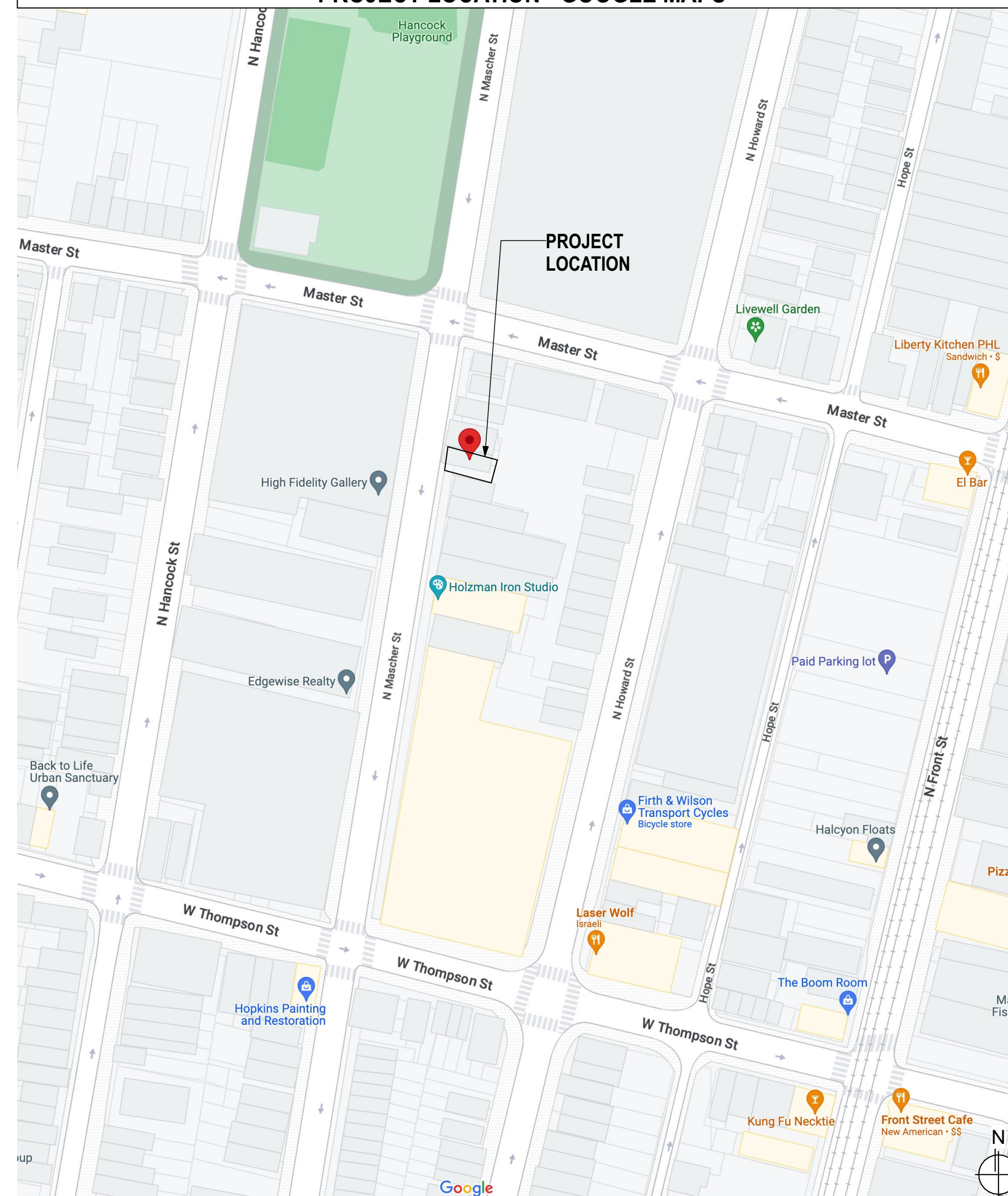
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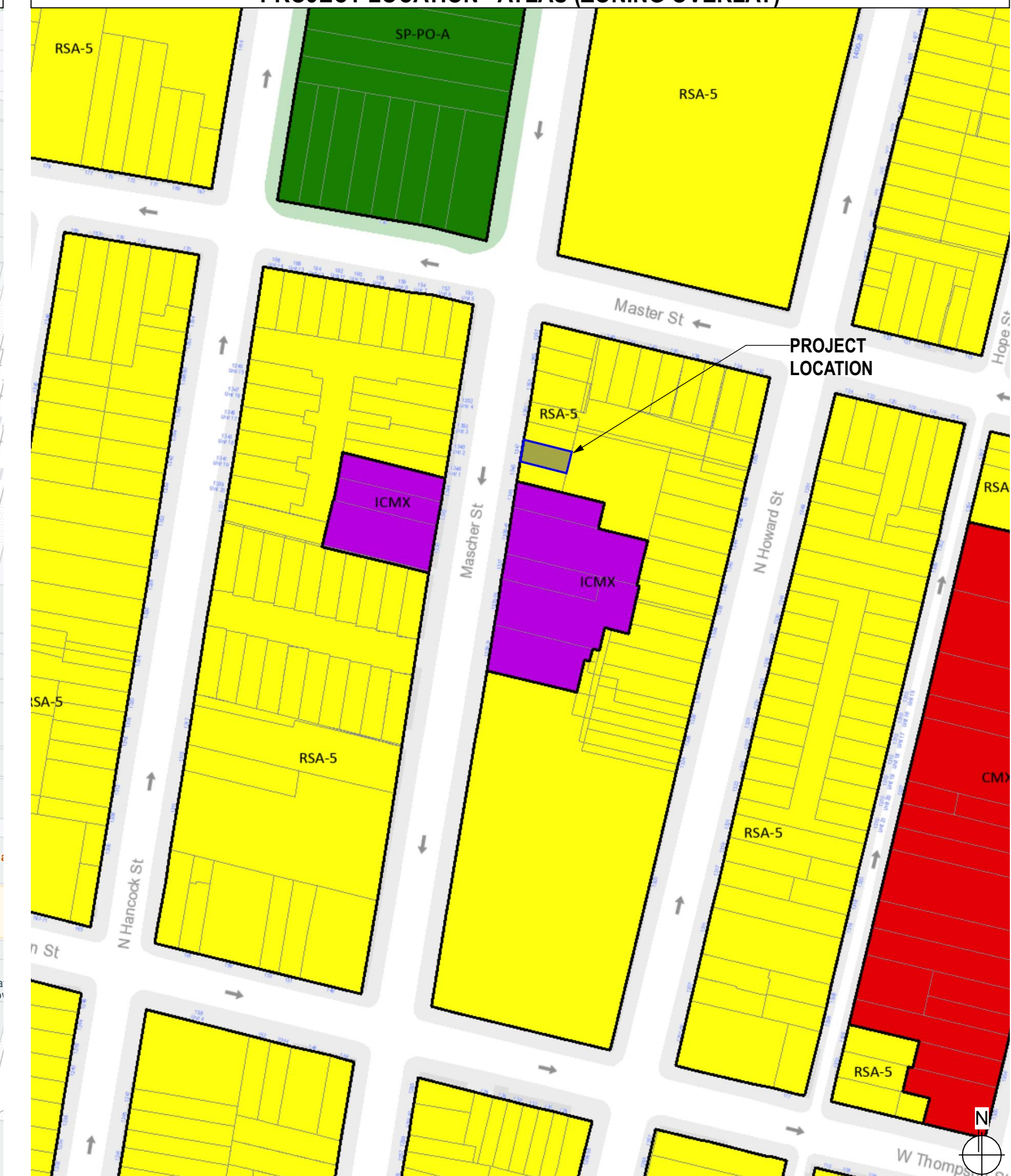
ZONING COVER SHEET

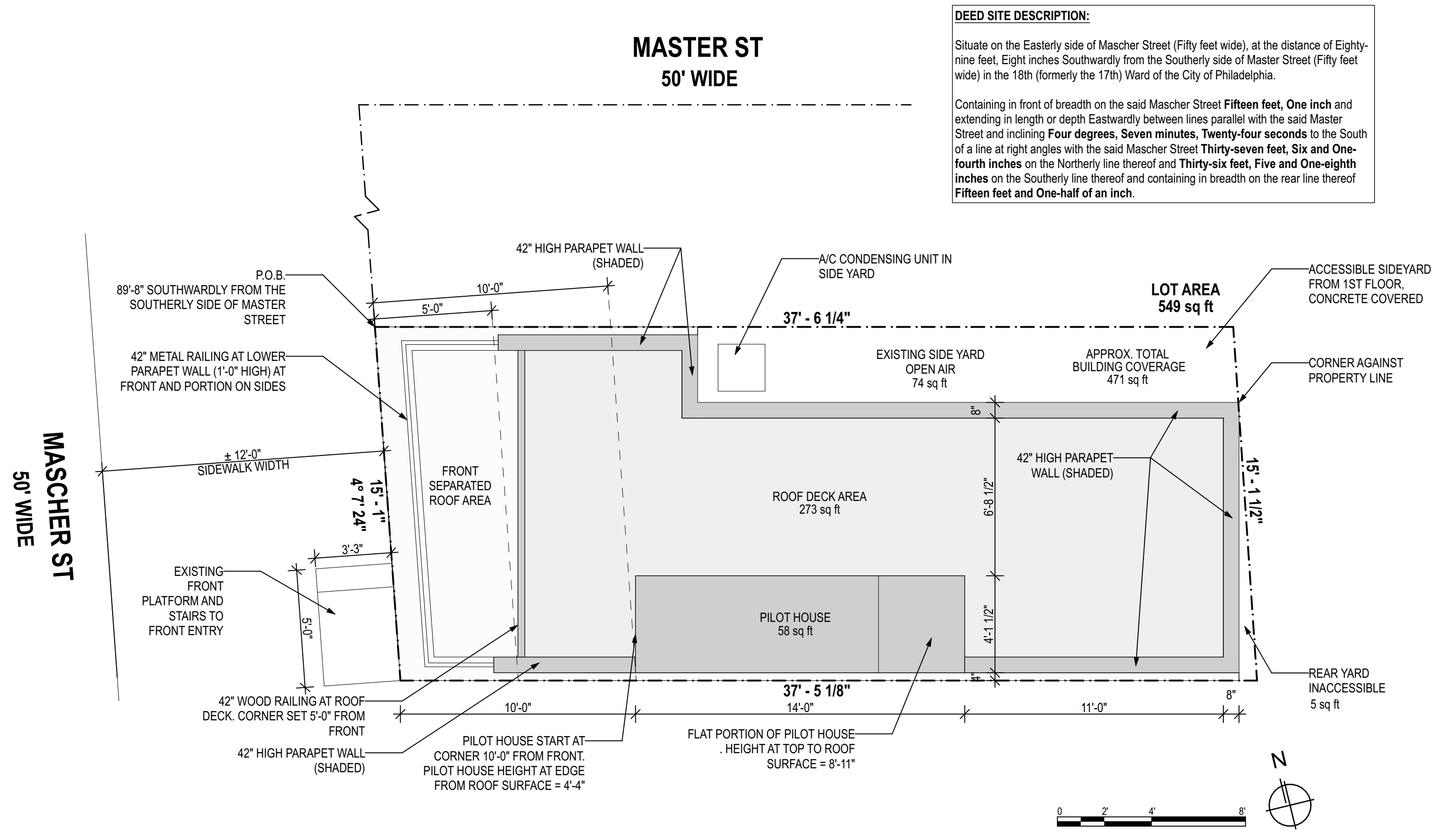
Z-01

PROJECT LOCATION • GOOGLE MAPS

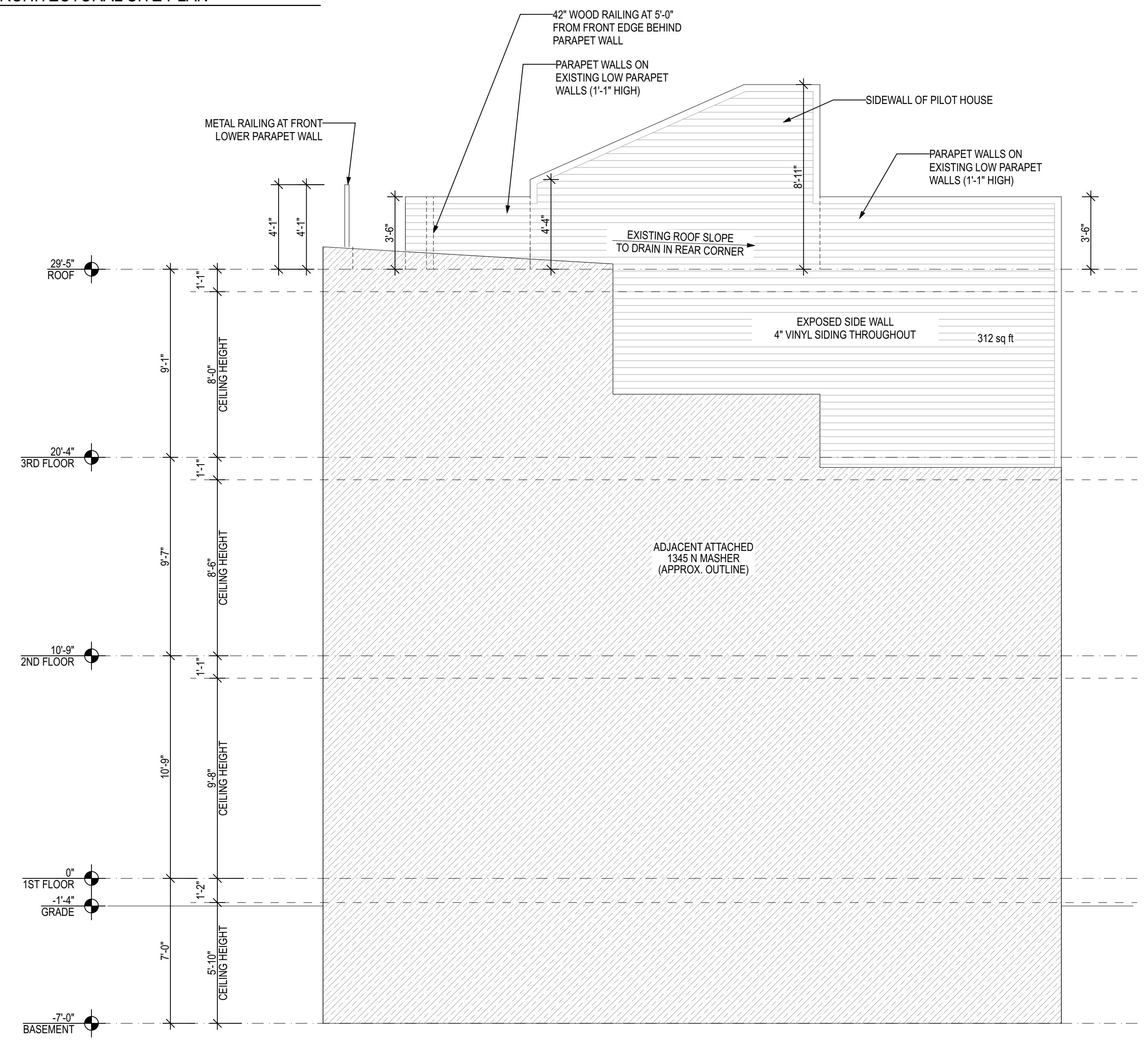


PROJECT LOCATION • ATLAS (ZONING OVERLAY)

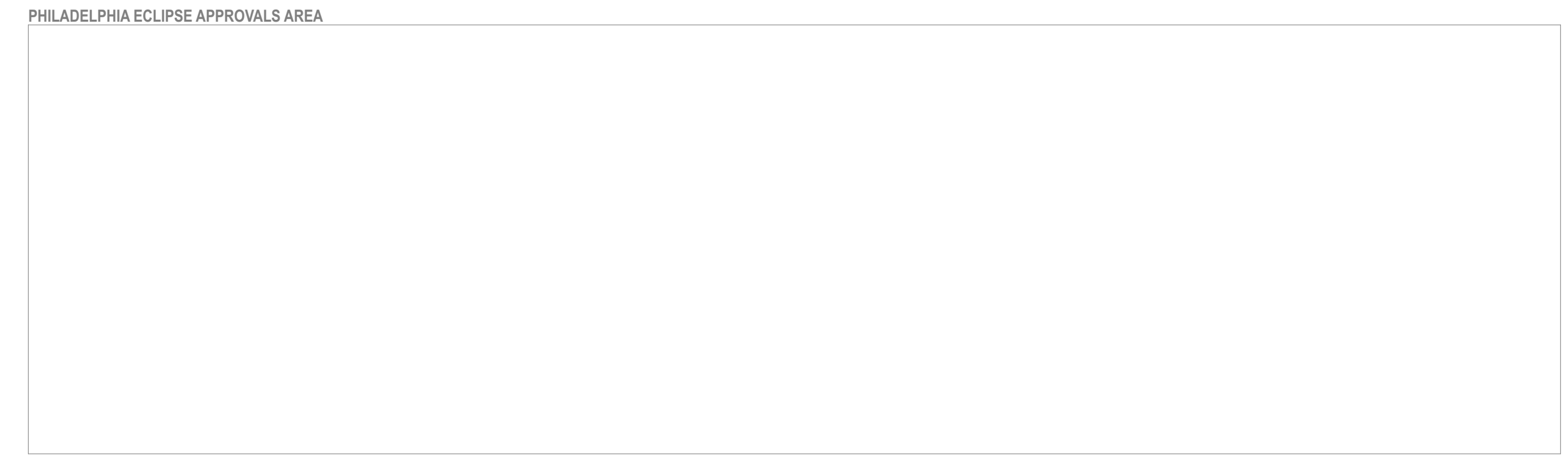




1 PROPOSED ARCHITECTURAL SITE PLAN
SCALE: 1/4" = 1'-0"



2 SIDE ELEVATION
SCALE: 1/4" = 1'-0"



DEED SITE DESCRIPTION:
Situates on the Easterly side of Mascher Street (Fifty feet wide), at the distance of Eighty-nine feet, Eight inches Southwardly from the Southerly side of Master Street (Fifty feet wide) in the 18th (formerly the 17th) Ward of the City of Philadelphia.
Containing in front of breadth on the said Mascher Street Fifteen feet, One inch and extending in length or depth Eastwardly between lines parallel with the said Master Street and inclining Four degrees, Seven minutes, Twenty-four seconds to the South of a line at right angles with the said Mascher Street Thirty-seven feet, Six and One-fourth inches on the Northerly line thereof and Thirty-six feet, Five and One-eighth inches on the Southerly line thereof and containing in breadth on the rear line thereof Fifteen feet and One-half of an inch.

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DRAWING NAME & NUMBER:

ARCHITECTURAL SITE PLAN & ELEVATIONS

Z-02